

PROJECT
**Manhattan West
Southwest Residential
Tower**

PART OF THE MANHATTAN WEST MASTER PLAN
West 31st Street & Dyer Avenue
New York, NY

OWNER/DEVELOPER:

Brookfield

80P West 31st Street LLC
Brookfield Properties W 31st CO.L.P.
Brookfield Place, 250 Vesey Street
New York, NY 10281

ARCHITECT:

SLCEArchitects,LLP

1359 BROADWAY
NEW YORK, NY 10018
TEL.: (212) 979-8400
FAX.: (212) 979-8387

DESIGN ARCHITECT / MASTER PLAN ARCHITECT:

SOM

Skidmore, Owings & Merrill LLP
14 Wall Street New York, NY 10005
(212) 278-9300

INTERIOR DESIGN:

RW STUDIO

324 LAFAYETTE STREET, 4TH FLOOR
NEW YORK, NY 10012
TEL.: (212) 625-3808
FAX.: (212) 625-3807

LANDSCAPE ARCHITECT:

JAMES CORNER

FIELD OPERATIONS
475 TENTH AVENUE
NEW YORK, NY 10018
TEL.: (212) 433-1430

STRUCTURAL ENGINEER:

DeSIMONE CONSULTING

ENGINEERS, P.L.L.C.

18 WEST 18TH STREET
NEW YORK, NY 10011
TEL.: (212) 532-2211
FAX.: (212) 481-6108

MECHANICAL ENGINEER:

COSENTINI ASSOCIATES

TWO PENN PLAZA
NEW YORK, NY 10012
TEL.: (212) 615-3600
FAX.: (212) 615-3700

BUILDING ENVELOPE CONSULTANT:

VIDARIS INC. /

ISRAEL BERGER & ASSOCIATES, INC.

232 MADISON AVENUE
NEW YORK, NY
TEL.: (212) 689-5389
FAX.: (212) 689-6449

ENERGY / ENVIRONMENTAL CONSULTANT:

VIDARIS INC. /

VRIDIAN ENERGY & ENVIRONMENTAL

50 WASHINGTON STREET
NORWALK, CT 06854
TEL.: (203) 299-1411
FAX.: (203) 299-1656

VERTICAL TRANSPORTATION CONSULTANT:

VAN DEUSEN & ASSOCIATES

5 REGENT STREET, SUITE 524
LIVINGSTON, NJ 07039
TEL.: (732) 994-9220

ACOUSTICAL CONSULTANT:

CERAMI ASSOCIATES

404 FIFTH AVENUE
NEW YORK, NY 10018
TEL.: (212) 370-1776
FAX.: (212) 370-1736

CIVIL ENGINEER:

PHILIP HABIB & ASSOCIATES

102 MADISON AVENUE, 11TH FL.
NEW YORK, NY 10016
TEL.: (212) 929-5656
FAX.: (212) 929-5605

GEO-TECHNICAL ENGINEER:

MUESER RUTLEDGE

CONSULTING ENGINEERS

225 WEST 34TH STREET
NEW YORK, NY 10122
TEL.: (917) 339-9300
FAX.: (917) 339-9400

CONSTRUCTION MANAGER:

HUNTER ROBERTS

CONSTRUCTION GROUP

225 LIBERTY STREET, 6TH FLOOR
NEW YORK, NY 10281
TEL.: (212) 321-6880

REVISION:

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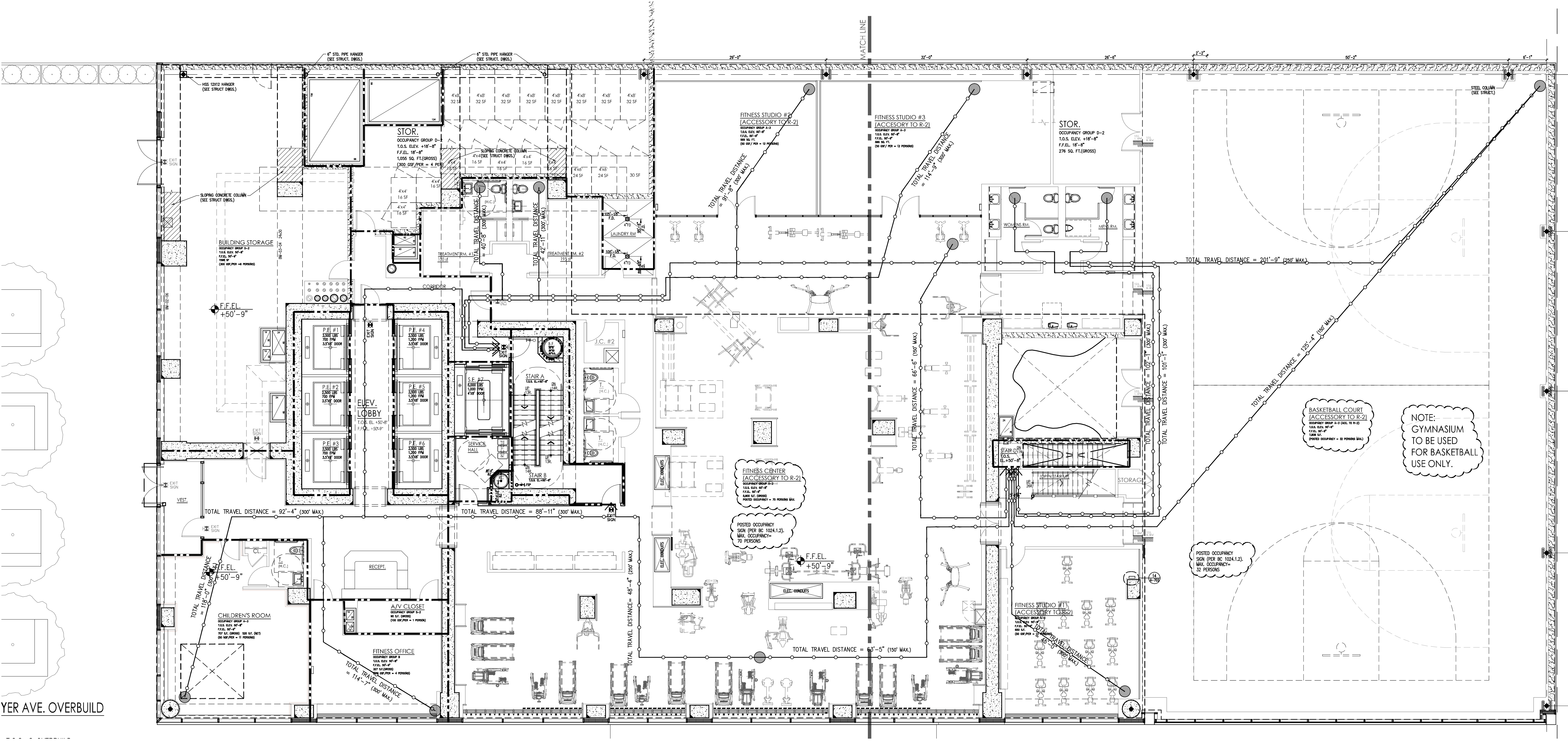
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YER AVE. OVERBUILD

LEGEND

- HABITABLE SPACE
- GENERAL TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATES DIRECTION)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES:
1. BUILDING IS FULLY SPRINKLERED PER NFPA 13
2. CORRIDOR PARTITIONS ARE REQUIRED TO BE RATED AS SHOWN, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 405 WEST 31ST STREET
NEW YORK, NEW YORK
BLOCK: 729
ZONING DISTRICT: C64
ZONING MAP: 8d
LOT AREA: 63 SF
STORIES: 62
CONSTRUCTION: 62 STORIES OF REINFORCED CONCRETE, FOUNDATION SUPPORTED BY PILES

OCCUPANCY CLASS

USE	OCC. CLASS
MERCANTILE	M
RESIDENTIAL	R-2
PARKING	S-2
STORAGE	S-2
MECHANICAL	F-2
BUSINESS	B

OCCUPANT COUNTS

MAX. FLOOR AREA ALLOWANCE PER OCCUPANT-AS PER 2008 NYCBC-1004.1.2	NET FLOOR AREA PER OCCUPANT
HABITABLE ROOM	200 SF
EXERCISE	50 SF
STORAGE ROOMS	50 SF
OFFICES	100 SF
MECHANICAL SPACE	300 SF
RETAIL	30 SF

CODE DATA

BUILDING LIMITATIONS	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES:		2008 BUILDING CODE OF THE CITY OF NEW YORK FEDERAL FAIR HOUSING ACT HANDICAP ACCESSIBILITY: AMERICAN NATIONAL STANDARDS INSTITUTE / ANSI-117.1-2003. ACT - PUBLIC SPACES (LATEST AMENDMENTS)
2. BUILDING OCCUPANCY:	308.2	R-2 APARTMENTS A-2 ASSEMBLY S-2 STORAGE, MECHANICAL
3. CONSTRUCTION CLASSIFICATION:	TABLE 601	NONCOMBUSTIBLE I-B
4. HEIGHT LIMITATIONS:	TABLE 503	NO LIMIT HEIGHT OR AREA - IB
5. FIRE PROTECTION:		
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPES I-B ELEMENTS (HOURS)		
COLUMNS, GIRDERS, TRUSSES	2 HRS.	
BEARING WALLS - EXTERIOR & INTERIOR	2 HRS.	
NON-BEARING WALLS & PARTITIONS - EXTERIOR	TABLE 602	
NON-BEARING WALLS & PARTITIONS - INTERIOR	0 HRS.	
FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS	2 HRS.	
ROOF CONSTRUCTION - SUPPORTING BEAMS & JOINTS	1 HR.	

BUILDING LIMITATIONS

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP M	OCCUPANCY GROUP B, R, S-2
< 5	ALL	2	1
>= 5 TO < 10	IA	2	1
>= 5 TO < 10	OTHERS	1	1
>= 10 TO < 30	IA, IB	1	1
>= 10 TO < 30	IBB, VB	0	0
>= 10 TO < 30	OTHERS	1	1
>= 30	ALL	0	0

TABLE 602.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	0 ≤ TO < 3	3 ≤ TO < 5	5 ≤ TO < 10	10 ≤ TO < 15	15 ≤ TO < 20	20 ≤ TO < 25	25 ≤ TO < 30	30 ≤
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

6. SPRINKLERS

FULLY SPRINKLERED FOR ALL FLOORS.

7. INTERIOR FINISH CLASS:

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY TYPE I-B

GROUP	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES
A-2	B	C	C	A	B	B
R-2	B	C	C	A	B	B

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A-2	B	C	C	A	B	B
R-2	B	C	C	A	B	B

OCCUPANCY CALCULATIONS

PER TABLE 1004.1.2

TABLE T004.1.2	
USE	CLASS
CHILDREN ROOM	A-3
FITNESS OFFICE	B
AV CLOSET	S-2
ELEVATOR LOBBY	A-3
FITNESS CENTER	A-3
FITNESS STUDIO #1	A-3
FITNESS STUDIO #2	A-3
FITNESS STUDIO #3	A-3
GYMNASIUM	A-3
BUILDING STORAGE	S-2
BUILDING STORAGE	S-2

PROJECT: **Manhattan West Southwest Residential Tower**

PART OF THE MANHATTAN WEST MASTER PLAN
West 31st Street & Dyer Avenue
New York, NY

OWNER/DEVELOPER:

Brookfield
80P West 31st Street LLC
Brookfield Properties W 31st CO L.P.
Brookfield Place, 250 Vesey Street
New York, NY 10281

ARCHITECT:

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1359 BROADWAY
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475 TENTH AVENUE
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18 WEST 18TH STREET
NEW YORK, NY 10011
TEL: (212) 532-2211
FAX: (212) 481-6108

MECHANICAL ENGINEER:

COSENTINI ASSOCIATES
TWO PENN PLAZA
NEW YORK, N.Y. 10121
TEL: (212) 615-3600
FAX: (212) 615-3700

BUILDING ENVELOPE CONSULTANT:

VIDARIS INC. / ISRAEL BERGER & ASSOCIATES, INC.
232 MADISON AVENUE
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FAX: (212) 689-6449

ENERGY / ENVIRONMENTAL CONSULTANT:

VIDARIS INC. / VIRIDIAN ENERGY & ENVIRONMENTAL
50 WASHINGTON STREET
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TEL: (203) 299-1411
FAX: (203) 299-1456

VERTICAL TRANSPORTATION CONSULTANT:

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5 REGENT STREET, SUITE 524
LIVINGTON, NJ 07039
TEL: (973) 994-9220

ACOUSTICAL CONSULTANT:

CERAMI ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL: (212) 370-1774
FAX: (212) 370-1736

CIVIL ENGINEER:

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NEW YORK, NY 10016
TEL: (212) 929-5656
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GEOTECHNICAL ENGINEER:

MUESER RUTLEDGE CONSULTING ENGINEERS
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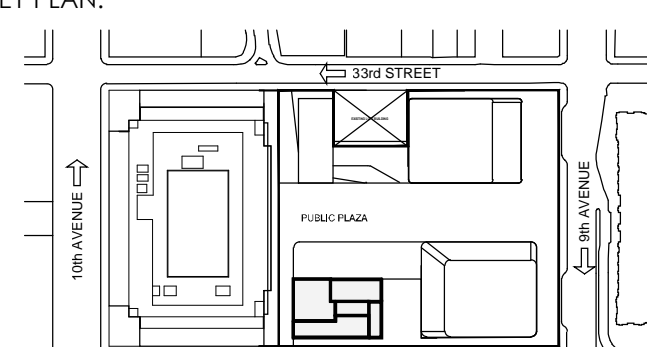
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201502.19	ISSUED FOR DOB
2014.12.15	ISSUED FOR GMP
2014.09.09	ISSUED FOR CONSTRUCTION
2014.08.01	FOR CONSTRUCTION DOCUMENTS
2014.06.03	FOR CONSTRUCTION DOCUMENTS
2014.05.12	ISSUED FOR PLUMBING
2014.04.14	DESIGN DEVELOPMENT
2014.03.14	ISSUED FOR FOUNDATION PLUMBING
2014.03.14	REVISION:

D.O.B. NUMBER:

NB# 121185760

Scale: 1/8" = 1'-0"

KEY PLAN:



PROJECT: **MANHATTAN WEST NEW YORK, NEW YORK**

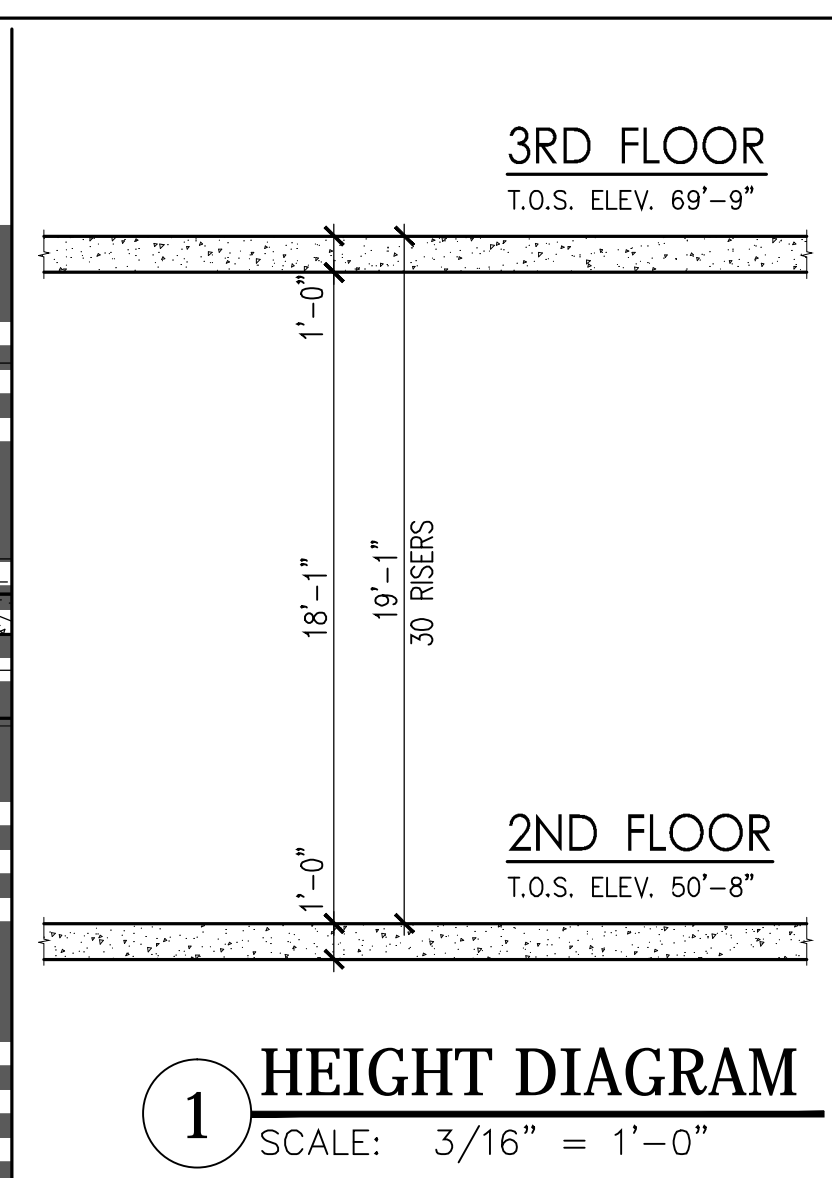
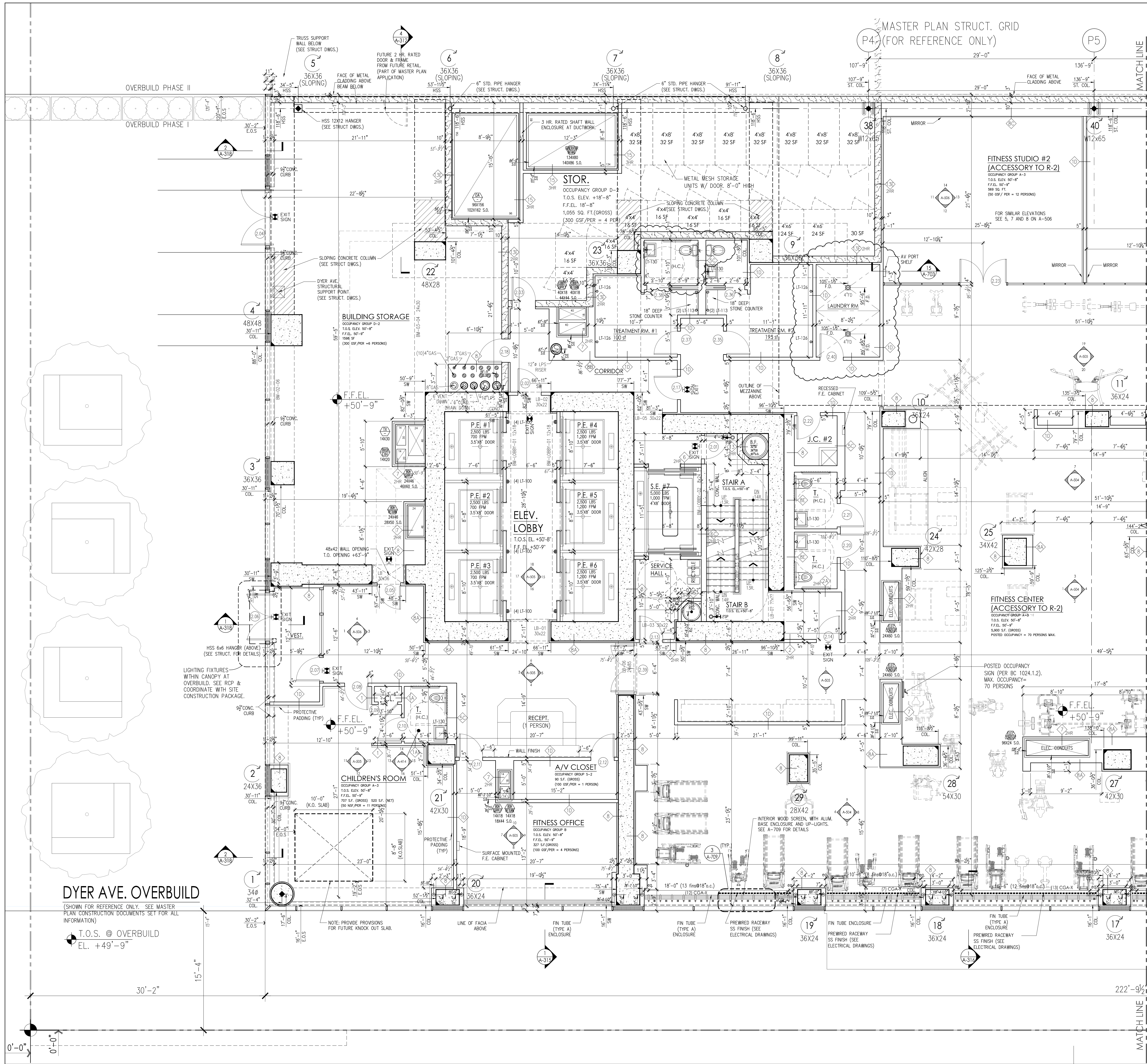
DRAWING TITLE: **3RD FLOOR LIFE SAFETY PLAN**

DATE: 1/25/13
PROJECT NO: 2012-132
DRAWN BY: J.C.B.
CHECKED BY: J.T.F.
SHEET NO: **A-053.01**

SEAL & SIGNATURE:

FILE NO: 13000000-00000000-0000-0000-0000-000000000000

LEGEND	GENERAL BUILDING DATA	CODE DATA	EGRESS CALCULATIONS
<div>HABITABLE SPACE</div> <div>GENERAL TRAVEL DISTANCE</div> <div>COMMON PATH OF TRAVEL</div> <div>DEAD END CORRIDOR</div> <div>ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)</div> <div>TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)</div> <div>THREE HOUR WALLS (3HR SELF-CLOSING DOORS)</div> <div>FIRE EXTINGUISHER</div> <div>EXIT SIGNS (ARROW INDICATES DIRECTION)</div> <div>SMOKE DETECTOR</div> <div>CARBON MONOXIDE DETECTOR</div> <div>RESIDENTIAL GENERAL NOTES: 1. BUILDING IS FULLY SPRINKLERED PER NFPA 13 2. CORRIDOR PARTITIONS ARE REQUIRED TO BE RATED AS SHOWN, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.</div>	<div>ADDRESS: 405 WEST 31ST STREET NEW YORK, NEW YORK</div> <div>BLOCK: 729</div> <div>ZONING DISTRICT: C64</div> <div>ZONING MAP: 8d</div> <div>LOT AREA: 5F</div> <div>STORIES: 63</div> <div>CONSTRUCTION: 62 STORIES OF REINFORCED CONCRETE FOUNDATION SUPPORTED BY PILES</div> <div>OCCUPANCY CLASS</div> <div>USE OCC. CLASS</div> <div>MERCANTILE M</div> <div>RESIDENTIAL R-2</div> <div>PARKING S-2</div> <div>STORAGE S-2</div> <div>MECHANICAL F-2</div> <div>BUSINESS B</div> <div>OCCUPANT COUNTS</div> <div>MAX. FLOOR AREA ALLOWANCE PER OCCUPANT-AS PER 2008 NYBC-1004.1.2</div> <div>OCCUPANCY 1 NET FLOOR AREA PER OCCUPANT</div> <div>HABITABLE ROOM 200 SF</div> <div>EXERCISE 80 SF</div> <div>STORAGE ROOMS 30 SF</div> <div>OFFICES 100 SF</div> <div>MECHANICAL SPACE 300 SF</div> <div>RETAIL 30 SF</div>	<div>BUILDING LIMITATIONS</div> <div>CODE SECTION CRITERIA</div> <div>1. APPLICABLE BUILDING CODES: 2008 BUILDING CODE OF THE CITY OF NEW YORK, FEDERAL FAIR HOUSING ACT, HANDICAP ACCESSIBILITY, AMERICAN NATIONAL STANDARDS INSTITUTE / ANSI-117.1-2003, AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)</div> <div>2. BUILDING OCCUPANCY: 308.2</div> <div>A-2 APARTMENTS</div> <div>A-3 EXERCISE</div> <div>M RETAIL</div> <div>S-2 STORAGE, MECHANICAL</div> <div>3. CONSTRUCTION CLASSIFICATION: TABLE 601</div> <div>NONCOMBUSTIBLE I-B</div> <div>4. HEIGHT LIMITATIONS: TABLE 503</div> <div>NO LIMIT HEIGHT OR AREA - IB</div> <div>5. FIRE PROTECTION</div> <div>TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPE I-B ELEMENTS (HOURS)</div> <div>COLUMNS, GIRDERS, TRUSSES 2 HRS</div> <div>BEARING WALLS - EXTERIOR & INTERIOR 2 HRS</div> <div>NON-BEARING WALLS & PARTITIONS - EXTERIOR 2 HRS</div> <div>NON-BEARING WALLS & PARTITIONS - INTERIOR 0 HRS</div> <div>FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS 2 HRS</div> <div>ROOF CONSTRUCTION - SUPPORTING BEAMS & JOINTS 1 HR</div> <div>BUILDING LIMITATIONS</div> <div>TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE</div> <div>FIRE SEPARATION DISTANCE TYPE OF CONSTRUCTION OCCUPANCY GROUP M OCCUPANCY GROUP B, R, S-2</div> <div>< 5 ALL 2 1</div> <div>>= 5 TO < 10 IA 2 1</div> <div>>= 5 TO < 10 OTHERS 1 1</div> <div>>= 10 TO < 30 IA, IB 1 1</div> <div>>= 10 TO < 30 IIB, VB 0 0</div> <div>>= 10 TO < 30 OTHERS 1 1</div> <div>>= 30 ALL 0 0</div> <div>TABLE 603.5 MAXIMUM AREA OF EXTERIOR WALL OPENINGS</div> <div>CLASSIFICATION OF OPENING 0 ≤ < 0.3 3 ≤ < 0.5 5 ≤ < 10 10 ≤ < 15 15 ≤ < 20 20 ≤ < 25 25 ≤ < 30 30 ≤</div> <div>UNPROTECTED NOT PERMITTED NOT PERMITTED 10% 15% 25% 45% 70% NO LIMIT</div> <div>PROTECTED NOT PERMITTED 15% 25% 45% 75% NO LIMIT NO LIMIT</div> <div>6. SPRINKLERS FULLY SPRINKLERED FOR ALL FLOORS</div> <div>7. INTERIOR FINISH CLASS:</div> <div>TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY</div> <div>GROUP VERTICAL EXITS AND EXIT PASSAGEWAYS EXIT ACCESS CORRIDORS AND OTHER EXITWAYS ROOMS AND ENCLOSED SPACES</div> <div>A-2 B C C A B B</div> <div>8. EGRESS REQUIREMENTS (FULLY SPRINKLERED):</div> <div>TABLE 1005.1 EGRESS WIDTH TABLE 1015.1 EXIT ACCESS TRAVEL DISTANCE</div> <div>OCCUPANCY CLASS TRAVEL DISTANCE (WITH SPRINKLER) CAPACITY</div> <div>EGRESS WIDTH FOR OCCUPANTS MIN. WIDTH MAX. DEAD END (1016.3) COMMON PATH OF TRAVEL (1015.3)</div> <div>R-1, R-2 200 0.2 0.3 0.2 44 40' (60' WITH 2HR CORR) 125'</div> <div>A-2 150-P/250-S 0.2 0.3 0.2 44 20' 30' (50') SC</div> <div>M 200 0.2 0.3 0.2 44 20' 125'</div> <div>S-2 250 0.2 0.3 0.2 44 20' 30'</div> <div>A 250-P 0.2 0.3 0.2 44 20' 30'</div> <div>B 300 0.2 0.3 0.2 44 20' 75'</div>	<div>PER TABLE 1004.1.2</div> <div>USE CLASS AREA S.F. MAX. AREA/OCCUPANT LOAD</div> <div>MECHANICAL ROOM - 2,794 (GROSS) 300 10 persons</div> <div>BUILDING STORAGE S-1 1,680 (GROSS) 300 6 persons</div> <div>GOLF SIMULATION R-2 104 (NET) 15 7 persons</div> <div>GOLF LOUNGE R-2 138 (NET) 15 10 persons</div> <div>GAME ROOM R-2 944 (NET) 19 19 persons</div> <div>LIBRARY R-2 874 (NET) 20 18 persons</div> <div>GAME / ARCADE R-2 729 (NET) 15 49 persons</div> <div>LOUNGE R-2 801 (NET) 15 53 persons</div> <div>CRASH PAD R-2 604 (NET) 10 17 persons</div> <div>RESIDENTIAL LEASING OFFICE R-2 1,487 (GROSS) 100 17 persons</div> <div>TOTAL 205 persons</div> <div>PER 1005.1 (DOORS CALCULATED @ 0.2"/OCCUPANT. STAIRS CALCULATED AT 0.3"/OCCUPANT)</div> <div>TOTAL NO. OF OCCUPANTS: 248 OCCUPANTS</div> <div>DOOR PROVIDED: STAIR A DOOR: 36"/0.2" = 180 OCC. STAIR B DOOR: 36"/0.2" = 180 OCC. TOTAL: 360 OCC. (COMPLIES)</div> <div>STAIR PROVIDED: STAIR A: 44"/3" = 146 OCC. STAIR B: 44"/3" = 146 OCC. TOTAL: 292 OCC. (COMPLIES)</div> <div>PLUMBING FIXTURE COUNT</div> <div>PER PLUMBING CODE SEC. 403, TABLE 403.1</div> <div>2ND FLOOR ASSEMBLY (A-3) OCCUPANCY LOAD: 159 PERSONS</div> <div>3RD FLOOR ASSEMBLY (A-3) OCCUPANCY LOAD: 205 PERSONS</div> <div>MINIMUM REQUIRED PLUMBING FIXTURES (2nd FLR):</div> <div>W/C 80/70 = 2 80/35 = 3 5 W/C 103/70 = 2 103/35 = 3 5</div> <div>LAV. 159/200 = 1 1 LAV. 205/200 = 2 2</div> <div>WATER FOUNTAIN 159/500 = 1 1 WATER FOUNTAIN 205/500 = 1 1</div> <div>SERVICE SINK 1 1 SERVICE SINK 1 1</div> <div>NO. OF FIXTURES PROVIDED AT 2ND FLOOR + 3RD FLOOR:</div> <div>W/C 2+2=4 2+2=4 5+1=6 14</div> <div>LAV. 2+2=4 2+2=4 5+1=6 14</div> <div>WATER FOUNTAIN 2+0=2 2</div> <div>SERVICE SINK 1+1=2 2</div> <div>CODE</div> <div>9. LOCATION OF EXITS 1014.2.1</div> <div>DOOR OPENINGS TO VERTICAL EXITS SHALL BE SPACED NOT MORE THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. IN R2 WITH SCISSOR STAIRS, DOORS CAN BE SPACED A MINIMUM OF 15'-0" APART.</div> <div>10. EXIT DOORS 1008.1.1.1</div> <div>MAX. WIDTH: 48" (PER LEAF) MIN. WIDTH: 32" (SINGLE DOOR)</div> <div>11. EXIT ACCESS 1013.6</div> <div>EXIT ACCESS IN R-2 OCCUPANCIES, IN BUILDINGS EXCEEDING THREE STORIES OR MORE IN HEIGHT OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER, SUCH DOOR SHALL BE DEEMED AS OPENABLE FROM THE STAIR SIDE.</div> <div>12. STAIRWAY DOOR 403.12 1008.1.8.7</div> <div>A DOOR LOOKED FROM THE STAIR SIDE MAY BE PERMITTED PROVIDED THAT SUCH DOOR IS EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM FOR OPENING IN THE EVENT OF THE ACTIVATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM OR WHEN ANY ELEVATOR RECALL IS ACTIVATED, OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER. SUCH DOOR SHALL BE DEEMED AS OPENABLE FROM THE STAIR SIDE.</div> <div>13. STAIRWAY WIDTH 1205.2.1</div> <div>NOT LESS THAN 44" WIDE.</div> <div>14. STAIR PRESSURE/ POST FIRE SMOKE PURGE 912.1 EXCEPTION #1</div> <div>POST FIRE SMOKE PURGE NOT REQUIRED IN R2 DUE TO OPERABLE WINDOWS IN COMPLIANCE WITH 912.1(4)(i).</div> <div>15. ACCESSIBLE MEANS OF EGRESS 1007.2.1 1109.6</div> <div>(2) ACCESSIBLE MEANS OF EGRESS ARE REQUIRED. BOTH ARE VIA AN ELEVATOR AS PER BC 1007.2.1</div> <div>16. NATURAL LIGHT 1203.4.1.2</div> <div>10% OF FLOOR AREA OF THE ROOM. EVERY OPENING PROVIDING NATURAL LIGHT MUST BE A MINIMUM OF 12 SF. OF GLAZED AREA</div> <div>17. NATURAL VENTILATION HABITABLE SPACES, 1009.1</div> <div>5% OF FLOOR AREA OF THE HABITABLE SPACE</div>



PROJECT:
Manhattan West Southwest Residential Tower
PART OF THE MANHATTAN WEST MASTER PLAN
West 31st Street & Dyer Avenue
New York, NY

OWNER/DEVELOPER:
Brookfield
80P West 31st Street LLC
Brookfield Properties W 31st CO.L.P.
Brookfield Place, 250 Vesey Street
New York, NY 10281

ARCHITECT:
SLCE Architects, LLP
1359 BROADWAY
NEW YORK, NY 10018
TEL.: (212) 979-8400
FAX.: (212) 979-8387

DESIGN ARCHITECT / MASTER PLAN ARCHITECT:
SOM
360 Madison Avenue
New York, NY 10017
TEL.: (212) 625-3600
FAX.: (212) 625-3607

INTERIOR DESIGN:
RW STUDIO
324 LAFAYETTE STREET, 4TH FLOOR
NEW YORK, NY 10012
TEL.: (212) 625-3608
FAX.: (212) 625-3607

LANDSCAPE ARCHITECT:
JAMES CORNER FIELD OPERATIONS
475 TENTH AVENUE
NEW YORK, NY 10018
TEL.: (212) 433-1430

STRUCTURAL ENGINEER:
DESIMONE CONSULTING ENGINEERS, P.L.L.C.
18 WEST 18TH STREET
NEW YORK, NY 10011
TEL.: (212) 532-2211
FAX.: (212) 481-6108

MECHANICAL ENGINEER:
COSENTINI ASSOCIATES
TWO PENN PLAZA
NEW YORK, NY 10121
TEL.: (212) 615-3600
FAX.: (212) 615-3700

BUILDING ENVELOPE CONSULTANT:
VIDARIS INC. / ISRAEL BERGER & ASSOCIATES, INC.
232 MADISON AVENUE
NEW YORK, NY
TEL.: (212) 689-5389
FAX.: (212) 689-4449

ENERGY / ENVIRONMENTAL CONSULTANT:
VIDARIS INC. / VIRIDIAN ENERGY & ENVIRONMENTAL
50 WASHINGTON STREET
NORWALK, CT 06854
TEL.: (203) 299-1411
FAX.: (203) 299-1656

VERTICAL TRANSPORTATION CONSULTANT:
VAN DEUSEN & ASSOCIATES
5 REGENT STREET, SUITE 524
LIVINGSTON, NJ 07039
TEL.: (732) 994-9220

ACOUSTICAL CONSULTANT:
CERAMI ASSOCIATES
404 FIFTH AVENUE
NEW YORK, NY 10018
TEL.: (212) 370-1774
FAX.: (212) 370-1736

CIVIL ENGINEER:
PHILIP HABIB & ASSOCIATES
102 MADISON AVENUE, 11TH FL.
NEW YORK, NY 10016
TEL.: (212) 929-5656
FAX.: (212) 929-5605

GEO/TECHNICAL ENGINEER:
MUESER RUTLEDGE CONSULTING ENGINEERS
225 WEST 34TH STREET
NEW YORK, NY 10122
TEL.: (212) 339-9300
FAX.: (212) 339-9400

CONSTRUCTION MANAGER:
HUNTER ROBERTS CONSTRUCTION GROUP
225 LIBERTY STREET, 6TH FLOOR
NEW YORK, NY 10281
TEL.: (212) 321-6500

DATE	REVISION
2013-12-04	AS-008
2013-09-01	AS-007
2013-08-12	AS-016
2013-04-01	BULLETIN #1
2013-03-26	AS-109
2013-02-17	AS-105
2014-12-15	ISSUED FOR GMP
2014-10-23	BULLETIN #2
2014-10-09	BULLETIN #1

DRAWN BY: J.B. **CHECKED BY:** J.B. **DATE:** 2013-12-04

PROJECT: MANHATTAN WEST NEW YORK, NEW YORK

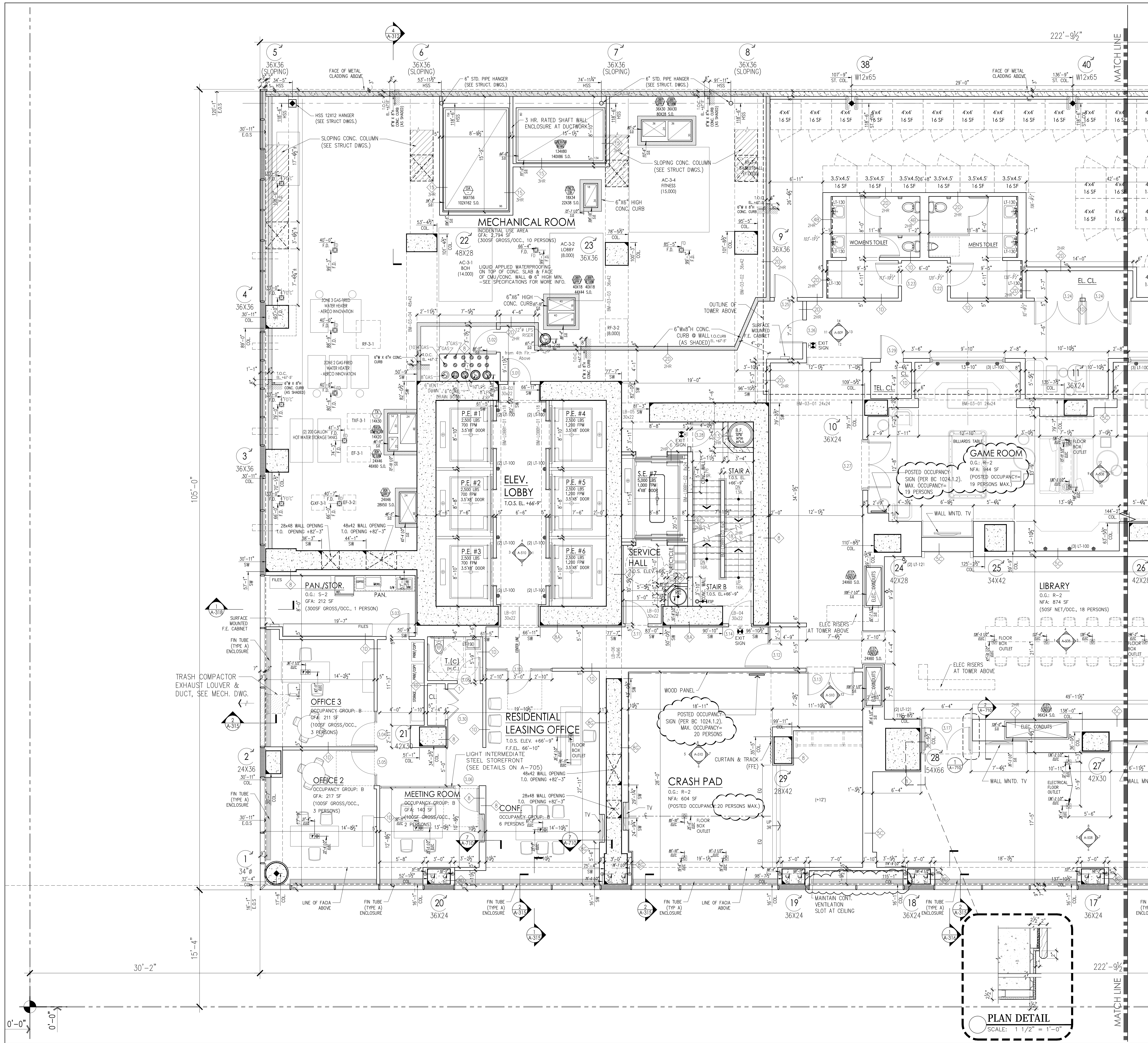
DRAWING TITLE: PARTIAL 2ND FLOOR PLAN (WEST)

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PROJECT NO.: 2013-32 **DRAWN BY:** J.B. **CHECKED BY:** J.B. **DATE:** 2013-12-04

SHEET NO.: 1 of 100

FILE NO.: 1:\projects\manhattan-west\2013-32\2D\Drawings\2D\2D_02R.dwg



Manhattan West Southwest Residential Tower

PART OF THE MANHATTAN WEST MASTER PLAN
West 31st Street & Dyer Avenue
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Brookfield

80P West 31st Street LLC
Brookfield Properties W 31st CO.L.P.
Brookfield Place, 250 Vesey Street
New York, NY 10281

SLCEArchitects, LLP

1359 Broadway
New York, NY 10018
TEL: (212) 979-5400
FAX: (212) 979-8387

SOM

Skidmore, Owings & Merrill LLP
14 Wall Street New York, NY 10005
(212) 298-9300

RW STUDIO

324 Lafayette Street, 4th Floor
New York, NY 10012
TEL: (212) 625-3608
FAX: (212) 625-3607

JAMES CORNER FIELD OPERATIONS

475 Tenth Avenue
New York, NY 10018
TEL: (212) 433-1450

DESIMONE CONSULTING ENGINEERS, P.L.L.C.

18 West 18th Street
New York, NY 10011
TEL: (212) 532-2211
FAX: (212) 481-6108

COSENTINI ASSOCIATES

222 PENN PLAZA
New York, NY 10019
TEL: (212) 615-3600
FAX: (212) 615-3700

ISRAEL BERGER & ASSOCIATES, INC.

232 MADISON AVENUE
New York, NY
TEL: (212) 689-5389
FAX: (212) 689-4449

VIDARIS INC. / VIRIDIAN ENERGY & ENVIRONMENTAL

50 WASHINGTON STREET
NORWALK, CT 06854
TEL: (203) 299-1411
FAX: (203) 299-1656

VAN DEUSEN & ASSOCIATES

5 REGENT STREET, SUITE 524
LIVINGSTON, NJ 07039
TEL: (732) 994-9220

CERAMI ASSOCIATES

404 FIFTH AVENUE
New York, NY 10018
TEL: (212) 370-1774
FAX: (212) 370-1736

PHILIP HABIB & ASSOCIATES

102 MADISON AVENUE, 11TH FL.
New York, NY 10016
TEL: (212) 929-5656
FAX: (212) 929-5605

MUESER RUTLEDGE CONSULTING ENGINEERS

225 WEST 24TH STREET
New York, NY 10012
TEL: (212) 339-9300
FAX: (212) 339-9400

HUNTER ROBERTS CONSTRUCTION GROUP

225 LIBERTY STREET, 6TH FLOOR
New York, NY 10281
TEL: (212) 521-6800

CONSTRUCTION MANAGER

225 LIBERTY STREET, 6TH FLOOR
New York, NY 10281
TEL: (212) 521-6800

CRASH PAD

O.G.: R-2
NFA: 604 SF
(POSTED OCCUPANCY: 20 PERSONS MAX.)

LIBRARY

O.G.: R-2
NFA: 874 SF
(50SF NET/OCC., 18 PERSONS)

MEETING ROOM

OCCUPANCY GROUP: B
GFA: 149 SF
(100SF GROSS/OCC., 3 PERSONS)

OFFICE 2

OCCUPANCY GROUP: B
GFA: 217 SF
(100SF GROSS/OCC., 3 PERSONS)

OFFICE 3

OCCUPANCY GROUP: B
GFA: 211 SF
(100SF GROSS/OCC., 3 PERSONS)

RESIDENTIAL LEASING OFFICE

OCCUPANCY GROUP: B
GFA: 149 SF
(100SF GROSS/OCC., 3 PERSONS)

MECHANICAL ROOM

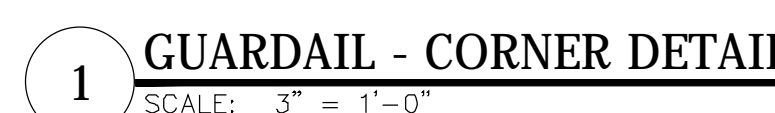
OCCUPANCY GROUP: B
GFA: 149 SF
(100SF GROSS/OCC., 3 PERSONS)

CRASH PAD

OCCUPANCY GROUP: B
GFA: 149 SF
(100SF GROSS/OCC., 3 PERSONS)

CRASH PAD

OCCUPANCY GROUP: B
GFA: 149 SF
(100SF GROSS/OCC., 3 PERSONS)



OPEN TO BELOW

GROSS FLOOR AREA = 17,178 SF

2 1/2" SEISMIC
SEPARATION PROVIDED AT
PROPERTY LINE - 1ST
THRU 3RD FLOOR. 2" MIN
REQUIRED (1" PER 50'
VERTICAL) PER
LL 17/95 /BC 1910.

